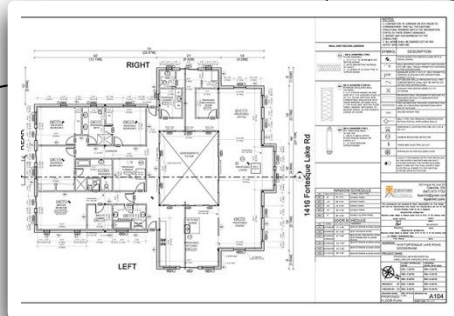


INVEST IN SHORT TERM CONSTRUCTION

1416 Fortesque Lake Road, Gooderham, Ontario



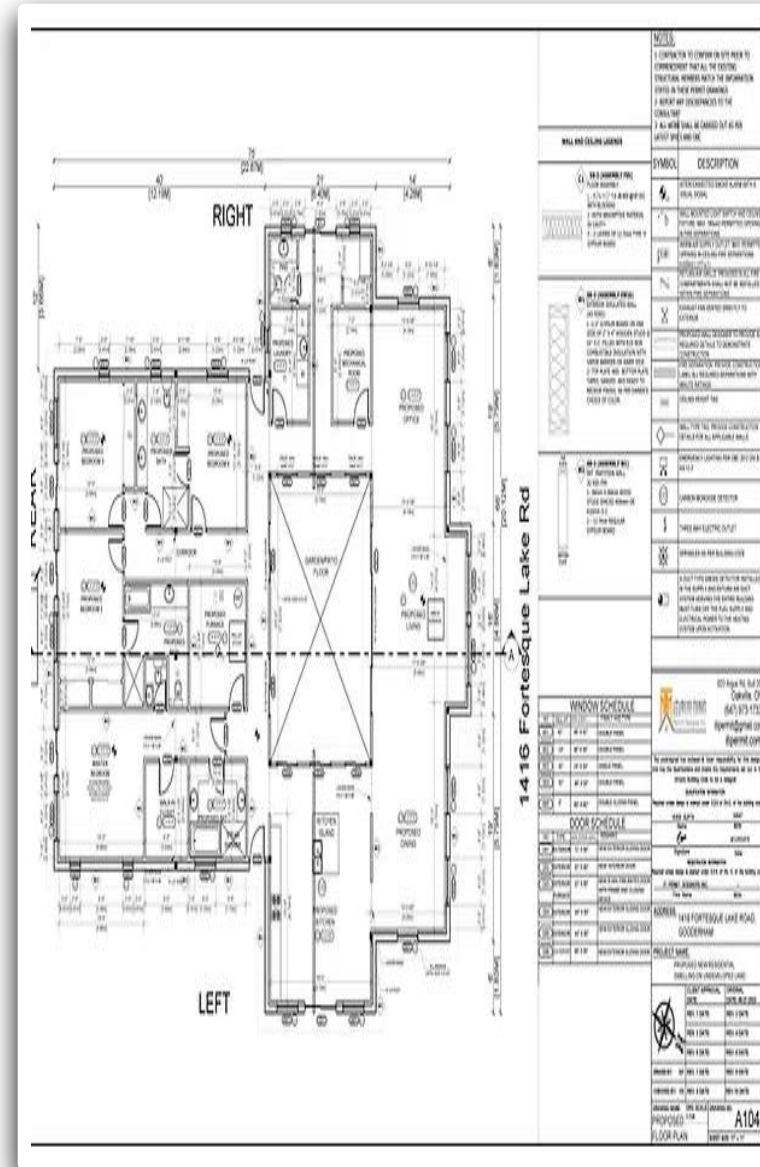
15%

LEARN MORE



Marketing Builder Projects To Accredited Canadian Investors Nation Wide

1416 Fortesque Lake Rd, Gooderham, ON K0M 1R0 sits on a vast 10.4-acre wooded lot surrounded by 300 acres of protected conservation land. It has undergone extensive development, combining modern living with the area's natural beauty.





GENERAL PARTNER BUILDER INFORMATION

Luciano Sirizzotti has 33 years of construction experience including design, renovation and framing.

CONSTRUCTION ESTIMATE

1416 FORTESQUE LAKE ROAD
GOODERHAM, ONTARIO

Estimate	Cost Description	Paid
\$110,649	Land purchase & closing costs	\$125,033
\$22,124	Drawings, Engineering,	\$25,000
\$10,088	Topographic Survey	\$11,400
\$0	Building permit	\$0
\$0	Development charges	\$0
\$265,487	Hydro One line & house connection	\$0
\$60,177	Lot clearing & excavation	\$68,000
\$57,699	Foundation	\$65,200
\$14,513	Drilled well, tank, connection	\$16,400
\$26,549	Septic System	\$0
\$143,362	Framing	\$162,000
\$44,248	Roof	\$0
\$27,434	Solar panels & system	\$31,000
\$40,708	Windows & Doors	\$15,000
\$46,018	Exterior	\$0
\$60,000	Plumbing	\$0
\$65,000	Electrical	\$0
\$70,000	HVAC	\$0
\$54,000	Insulation	\$0
\$46,018	Drywall & taping	\$0
\$38,938	Painting	\$0
\$44,248	Interior doors, trim, molding	\$0
\$34,513	Flooring	\$0
\$53,097	Kitchen cabinets, island, countertops	\$30,000
\$0	Appliances	\$0
\$0	Driveway	\$0
\$29,203	Landscaping	\$0
\$10,600	Risk Insurance	
\$29,912	Outbuildings & sheds	\$33,800
\$1,404,585	Estimated cost before HST	\$582,833

Revenue & Expense Estimates

\$2,500,000	Sale Revenue
\$125,000	Real Estate Commission
\$ 10,000	Legal Fees
\$200,000	Exempt Market Dealer
\$100,000	Project Management
\$1,404,585	Land & Construction Cost

Investment Summary

Category	Real Estate
Offer Type	Accredited Investor
Min Investment	\$25,000
Max Investment	\$2,000,000
Term	+/- 1 Year
Property Type	New Estate Home
Target Annual Return	15%

INVESTMENT TERMS

Unit Class	Total Capital	Return of Capital	Fixed Rate Return	Profit Split
Class A Units	\$2,000,000	Priority	15% per Annum (non-compounding)	0%

GP/LP Structure

Accredited Investor Only

Minimum investment: \$25,000

Maximum Raise: \$2,000,000

Canadian Resident Only

Estimated Term: 1 years

- All funds held in legal Counsel Trust Account for duration of project, disbursed as needed to cover approved construction costs
- 5% of construction costs paid to the General Partner as a one time Management fee
- Site supported by a Vendor Take Back Mortgage

1416 FORTESQUE LAKE ROAD, GOODERHAM

DRAWING LIST

A000 - COVER SHEET

A101 - SITE PLAN

A102 - FOUNDATION PLAN

A103 - PROPOSED BASEMENT PLAN

A104 - PROPOSED FLOOR PLAN

A105 - ROOF PLAN

A106 - FRONT ELEVATION

A107 - REAR ELEVATION

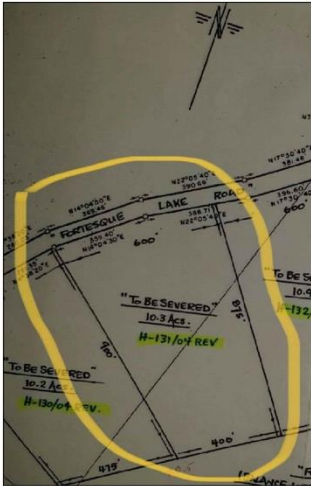
A108 - RIGHT ELEVATION

A109 - LEFT ELEVATION

A110 - SECTION

A111 - PLUMBING

A112 - DETAILS



CONSTRUCTION SPECIFICATIONS

GENERAL: ALL CONSTRUCTIONS TO CONFORM WITH REQUIREMENTS OF THE AMERICAN BUILDING CODE AND ALL OTHER CODES AND LOCAL AUTHORITIES. MATERIALS SUBSTITUTIONS TO BE APPROVED BY ARCHITECT. FINISHES TO BE APPROVED BY ARCHITECT. CONSTRUCTION METHODS TO BE APPROVED BY ARCHITECT.

1. FOUNDATION

1.1. CONCRETE

CONCRETE SHALL BE 4000 PSI MINIMUM STRENGTH. ALL CONCRETE SHALL BE REINFORCED WITH #4 BARS. ALL CONCRETE SHALL BE CURED WITH WET BURLAP AND PLASTIC FOR 7 DAYS.

1.2. FOOTING

FOOTING SHALL BE 12" MINIMUM DEPTH. ALL FOOTING SHALL BE REINFORCED WITH #4 BARS. ALL FOOTING SHALL BE CURED WITH WET BURLAP AND PLASTIC FOR 7 DAYS.

1.3. WALL

WALL SHALL BE 12" MINIMUM THICKNESS. ALL WALL SHALL BE REINFORCED WITH #4 BARS. ALL WALL SHALL BE CURED WITH WET BURLAP AND PLASTIC FOR 7 DAYS.

1.4. SLAB

SLAB SHALL BE 4" MINIMUM THICKNESS. ALL SLAB SHALL BE REINFORCED WITH #4 BARS. ALL SLAB SHALL BE CURED WITH WET BURLAP AND PLASTIC FOR 7 DAYS.

2. FLOORING

2.1. SUBFLOOR

SUBFLOOR SHALL BE 1/2" MINIMUM THICKNESS. ALL SUBFLOOR SHALL BE REINFORCED WITH #4 BARS. ALL SUBFLOOR SHALL BE CURED WITH WET BURLAP AND PLASTIC FOR 7 DAYS.

2.2. FLOORING

FLOORING SHALL BE 1/2" MINIMUM THICKNESS. ALL FLOORING SHALL BE REINFORCED WITH #4 BARS. ALL FLOORING SHALL BE CURED WITH WET BURLAP AND PLASTIC FOR 7 DAYS.

3. ROOFING

3.1. DECK

DECK SHALL BE 1/2" MINIMUM THICKNESS. ALL DECK SHALL BE REINFORCED WITH #4 BARS. ALL DECK SHALL BE CURED WITH WET BURLAP AND PLASTIC FOR 7 DAYS.

3.2. INSULATION

INSULATION SHALL BE 1/2" MINIMUM THICKNESS. ALL INSULATION SHALL BE REINFORCED WITH #4 BARS. ALL INSULATION SHALL BE CURED WITH WET BURLAP AND PLASTIC FOR 7 DAYS.

3.3. FLASHING

FLASHING SHALL BE 1/2" MINIMUM THICKNESS. ALL FLASHING SHALL BE REINFORCED WITH #4 BARS. ALL FLASHING SHALL BE CURED WITH WET BURLAP AND PLASTIC FOR 7 DAYS.

4. EXTERIOR WALLS

4.1. BRICK

BRICK SHALL BE 4" MINIMUM THICKNESS. ALL BRICK SHALL BE REINFORCED WITH #4 BARS. ALL BRICK SHALL BE CURED WITH WET BURLAP AND PLASTIC FOR 7 DAYS.

4.2. STUCCO

STUCCO SHALL BE 1/2" MINIMUM THICKNESS. ALL STUCCO SHALL BE REINFORCED WITH #4 BARS. ALL STUCCO SHALL BE CURED WITH WET BURLAP AND PLASTIC FOR 7 DAYS.

5. INTERIOR WALLS

5.1. GYPSUM BOARD

GYPSUM BOARD SHALL BE 1/2" MINIMUM THICKNESS. ALL GYPSUM BOARD SHALL BE REINFORCED WITH #4 BARS. ALL GYPSUM BOARD SHALL BE CURED WITH WET BURLAP AND PLASTIC FOR 7 DAYS.

5.2. PAINT

PAINT SHALL BE 1/2" MINIMUM THICKNESS. ALL PAINT SHALL BE REINFORCED WITH #4 BARS. ALL PAINT SHALL BE CURED WITH WET BURLAP AND PLASTIC FOR 7 DAYS.

6. CEILING

6.1. GYPSUM BOARD

GYPSUM BOARD SHALL BE 1/2" MINIMUM THICKNESS. ALL GYPSUM BOARD SHALL BE REINFORCED WITH #4 BARS. ALL GYPSUM BOARD SHALL BE CURED WITH WET BURLAP AND PLASTIC FOR 7 DAYS.

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7. DOORS

7.1. FRAME

FRAME SHALL BE 1/2" MINIMUM THICKNESS. ALL FRAME SHALL BE REINFORCED WITH #4 BARS. ALL FRAME SHALL BE CURED WITH WET BURLAP AND PLASTIC FOR 7 DAYS.

7.2. GLASS

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8. WINDOWS

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9. ROOFING

9.1. SHINGLES

SHINGLES SHALL BE 1/2" MINIMUM THICKNESS. ALL SHINGLES SHALL BE REINFORCED WITH #4 BARS. ALL SHINGLES SHALL BE CURED WITH WET BURLAP AND PLASTIC FOR 7 DAYS.

9.2. FLASHING

FLASHING SHALL BE 1/2" MINIMUM THICKNESS. ALL FLASHING SHALL BE REINFORCED WITH #4 BARS. ALL FLASHING SHALL BE CURED WITH WET BURLAP AND PLASTIC FOR 7 DAYS.

10. EXTERIOR FINISHES

10.1. PAINT

PAINT SHALL BE 1/2" MINIMUM THICKNESS. ALL PAINT SHALL BE REINFORCED WITH #4 BARS. ALL PAINT SHALL BE CURED WITH WET BURLAP AND PLASTIC FOR 7 DAYS.

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WALL AND CEILING LEGENDS

1. WALL

1.1. BRICK

1.2. STUCCO

1.3. GYPSUM BOARD

1.4. PAINT

2. CEILING

2.1. GYPSUM BOARD

2.2. PAINT

3. FLOORING

3.1. SUBFLOOR

3.2. FLOORING

4. ROOFING

4.1. DECK

4.2. INSULATION

4.3. FLASHING

5. EXTERIOR WALLS

5.1. BRICK

5.2. STUCCO

6. INTERIOR WALLS

6.1. GYPSUM BOARD

6.2. PAINT

7. DOORS

7.1. FRAME

7.2. GLASS

8. WINDOWS

8.1. FRAME

8.2. GLASS

9. ROOFING

9.1. SHINGLES

9.2. FLASHING

10. EXTERIOR FINISHES

10.1. PAINT

10.2. STUCCO

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8. WINDOWS

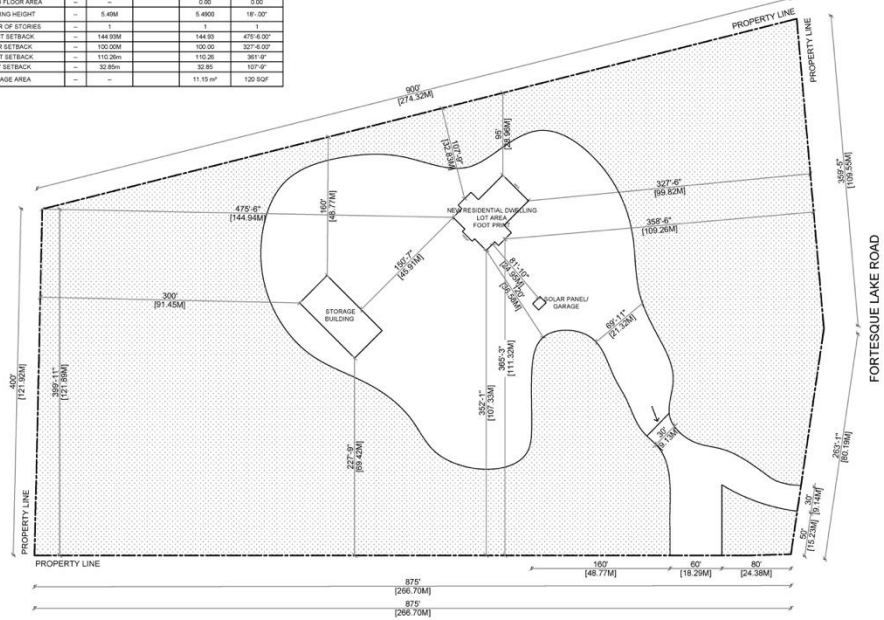
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8.2. GLASS

GLASS SHALL BE 1/2

AREA CALCULATIONS				
DESCRIPTION	6-3-2		PROPOSED	
ZONING	METRIC	IMPERIAL	METRIC	IMPERIAL
LOT AREA	42820.31	49934.15	42820.31	49934.15
FOOT PRINT	329	292.21	2920.26	749.69
GROSS FLOOR AREA	479	292.68	3190	292.68
GROUND FLOOR AREA	-	-	749.69	607.67
SECOND FLOOR AREA	-	-	6.00	6.00
BUILDING HEIGHT	-	-	5.49M	18'-0"
NUMBER OF STORES	-	-	1	1
FRONT SETBACK	-	-	144.93M	479'-6"
REAR SETBACK	-	-	190.00M	623'-4"
RIGHT SETBACK	-	-	110.26M	361'-9"
LEFT SETBACK	-	-	32.85M	107'-4"
GARAGE AREA	-	-	11.10 M ²	120.92M ²



NOTES:

- 1- CONTRACTOR TO CONFIRM ON SITE PRIOR TO COMMENCEMENT THAT ALL THE EXISTING STRUCTURAL MEMBERS MATCH THE INFORMATION STATED IN THESE PERMIT DRAWINGS
- 2- REPORT ANY DISCREPANCIES TO THE CONSULTANT
- 3- ALL WORK SHALL BE CARRIED OUT AS PER LATEST SP15 AND OBC

LEGEND:

HATCH	DESCRIPTION
[Hatch]	ASPHALT ROAD
[Hatch]	CEMENT WALKWAY
[Hatch]	SOD

ADDRESS: 1418 FORTESQUE LAKE ROAD, GOODERHAM

PROJECT NAME: PROPOSED NEW RESIDENTIAL DWELLING ON UNDEVELOPED LAND

DATE: 26.07.2023

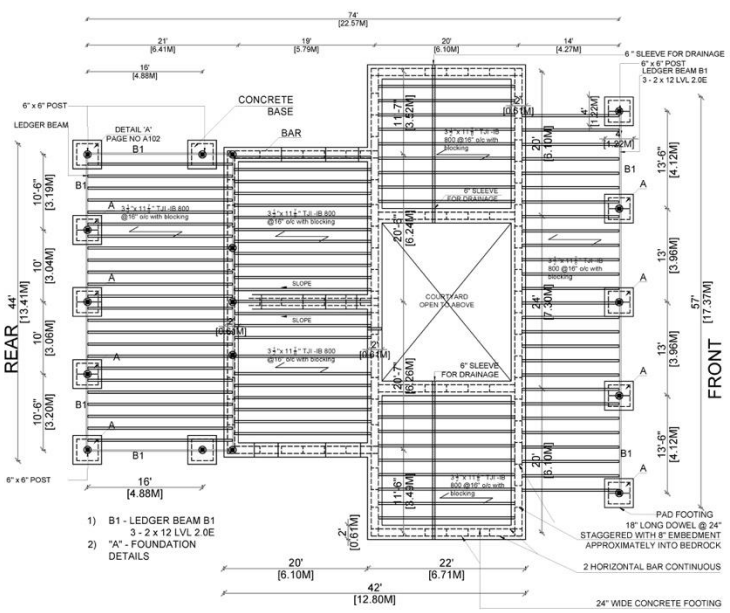
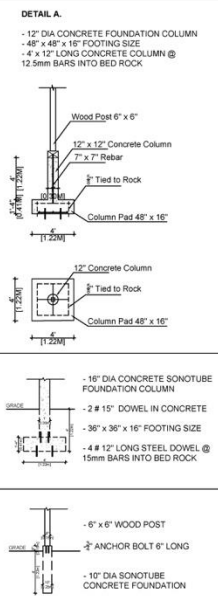
REV. 1 DATE: REV. 2 DATE: REV. 3 DATE: REV. 4 DATE: REV. 5 DATE: REV. 6 DATE: REV. 7 DATE: REV. 8 DATE: REV. 9 DATE: REV. 10 DATE:

DRAWN BY: AP **REV. 1 DATE:** **REV. 2 DATE:** **REV. 3 DATE:** **REV. 4 DATE:** **REV. 5 DATE:** **REV. 6 DATE:** **REV. 7 DATE:** **REV. 8 DATE:** **REV. 9 DATE:** **REV. 10 DATE:**

CHECKED BY: VG **REV. 1 DATE:** **REV. 2 DATE:** **REV. 3 DATE:** **REV. 4 DATE:** **REV. 5 DATE:** **REV. 6 DATE:** **REV. 7 DATE:** **REV. 8 DATE:** **REV. 9 DATE:** **REV. 10 DATE:**

DRAWING NAME: SITE SCALE 1:1000 **DRAWING NO:** A101

SHEET SIZE: 12" x 18"



NOTES:

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ADDRESS: 1418 FORTESQUE LAKE ROAD, GOODERHAM

PROJECT NAME: PROPOSED NEW RESIDENTIAL DWELLING ON UNDEVELOPED LAND

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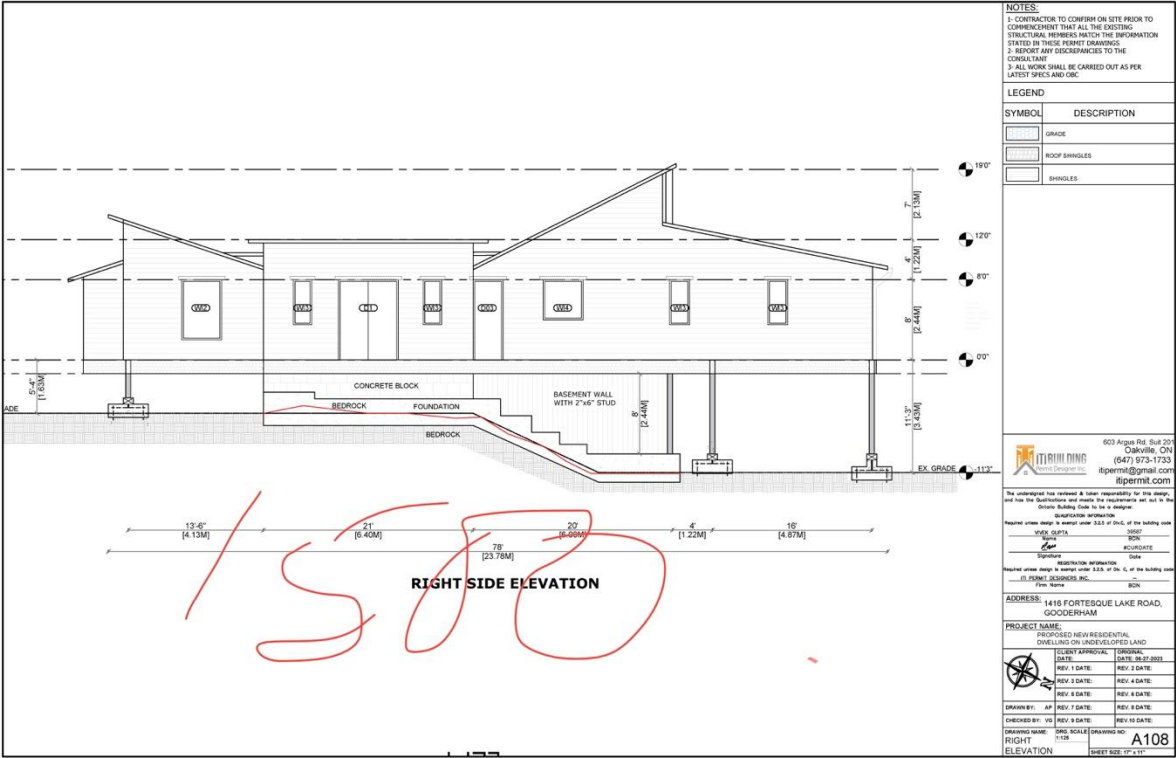
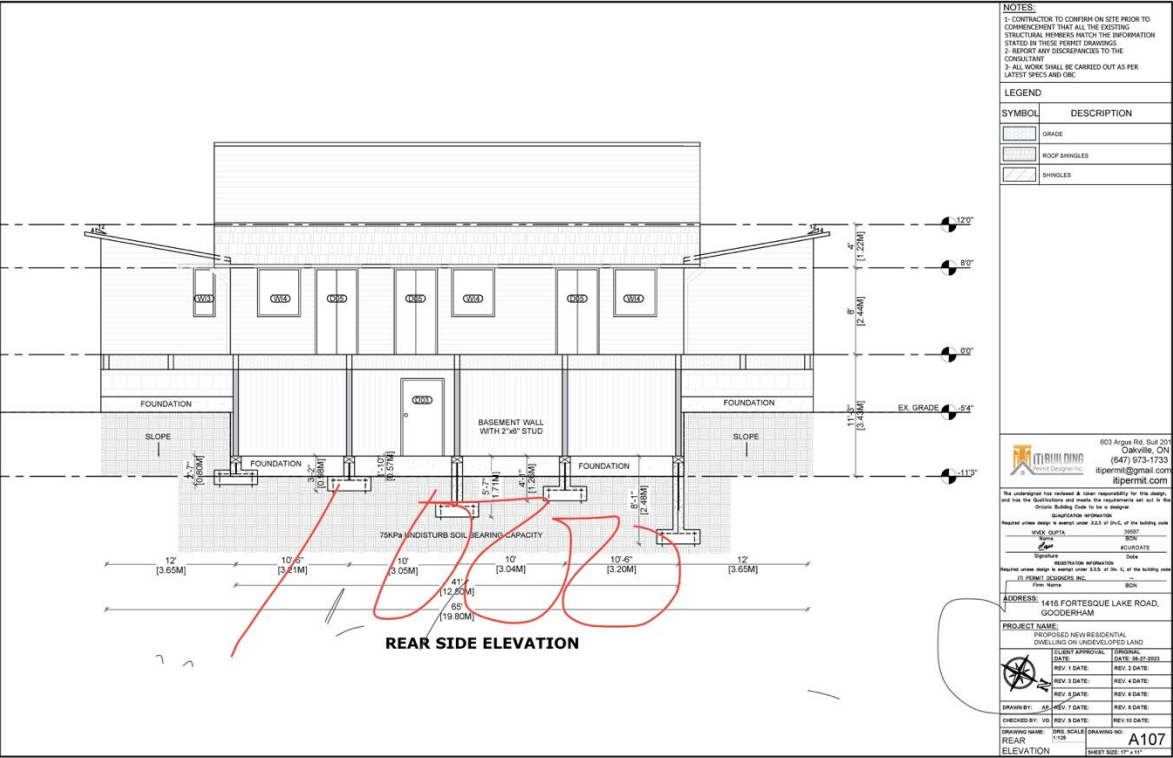
DRAWN BY: AP **REV. 1 DATE:** **REV. 2 DATE:** **REV. 3 DATE:** **REV. 4 DATE:** **REV. 5 DATE:** **REV. 6 DATE:** **REV. 7 DATE:** **REV. 8 DATE:** **REV. 9 DATE:** **REV. 10 DATE:**

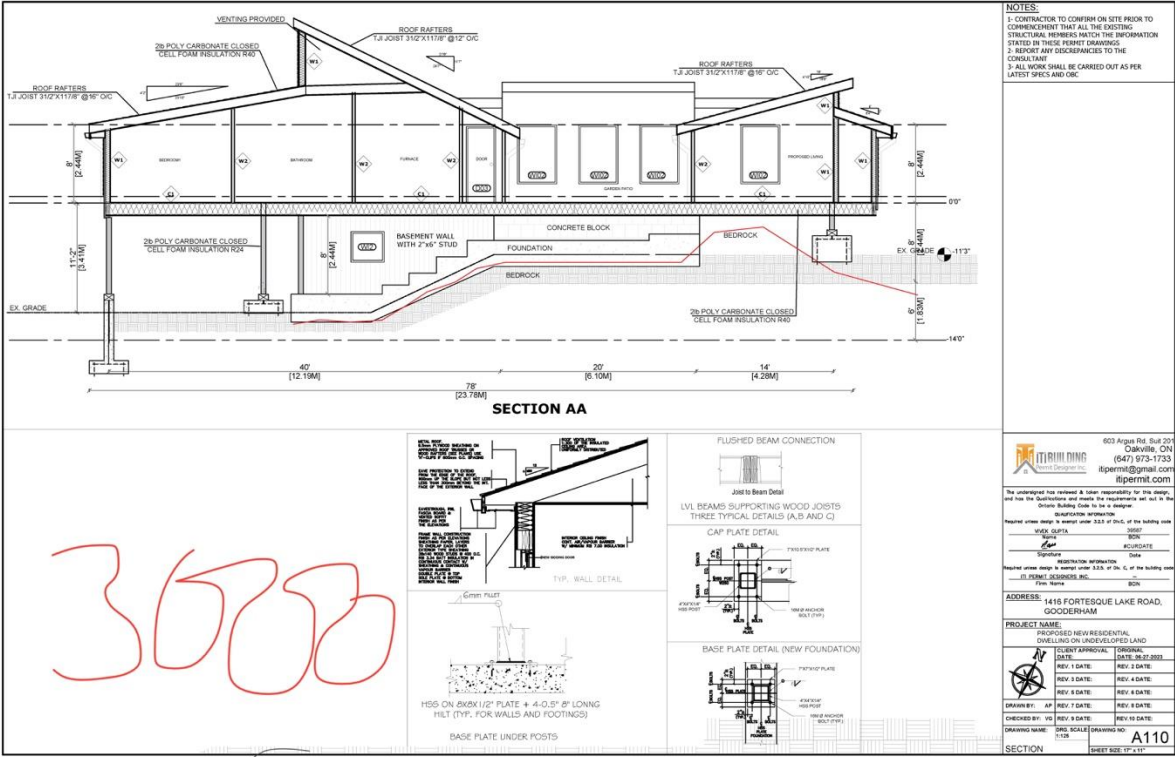
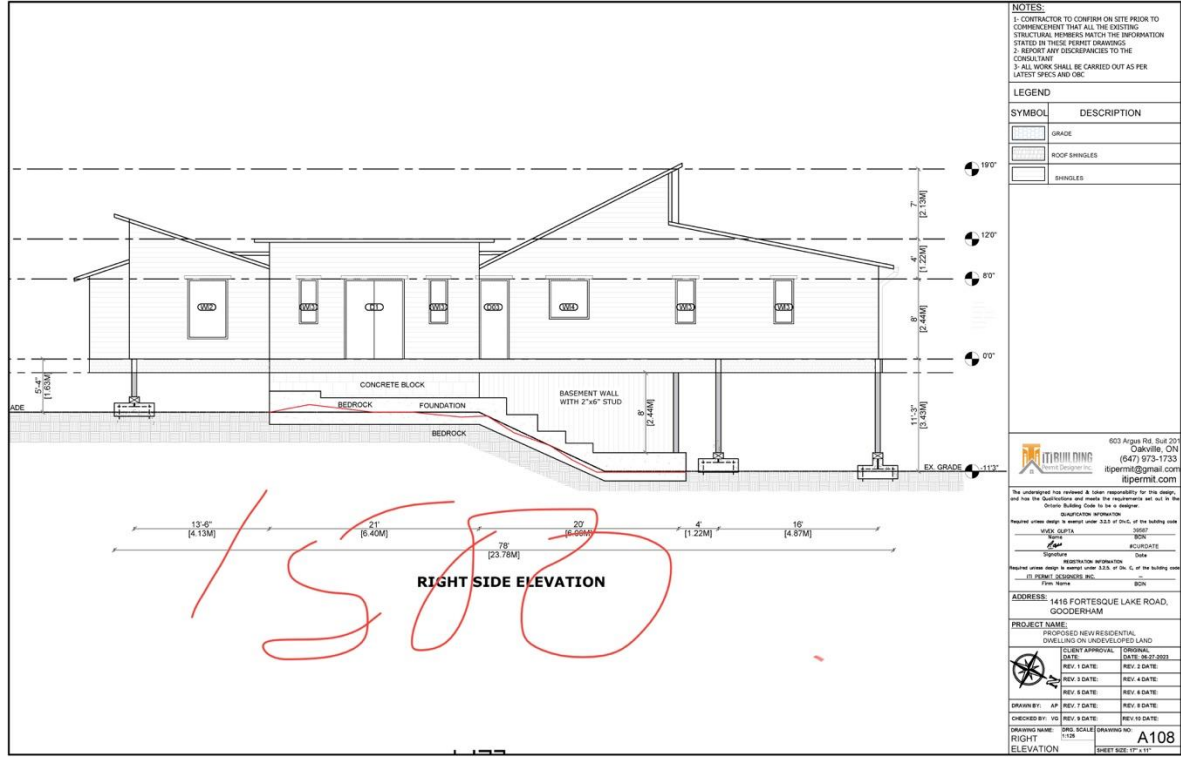
CHECKED BY: VG **REV. 1 DATE:** **REV. 2 DATE:** **REV. 3 DATE:** **REV. 4 DATE:** **REV. 5 DATE:** **REV. 6 DATE:** **REV. 7 DATE:** **REV. 8 DATE:** **REV. 9 DATE:** **REV. 10 DATE:**

DRAWING NAME: FOUNDATION SCALE 1:100 **DRAWING NO:** A102

SHEET SIZE: 12" x 18"

A103A104





TARGETED SALE PRICE

\$2,500,000 CAD

Comparable MLS
Listing
For Sale

\$4,650,000





THANK YOU

Luciano Sirizzotti

General Partner

www.ontariobuilderpartners.ca

Project Structured and supported by Builder Partners & Equivesto